




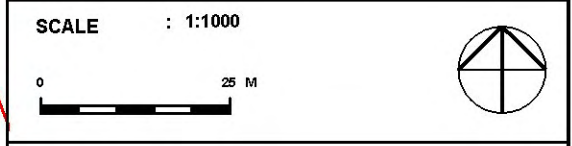


**URA / CUD PLAN
RELEASE 4/2008E**

**STREETBLOCK PLAN FOR
HOUSE NOS. 65, 69 & 70
MOHAMED SULTAN ROAD,
20, 22, 38 & 50 MARTIN ROAD, 11
ARNASALAM CHETTY ROAD AND
9 MUTHURAMAN CHETTY ROAD
(RIVER VALLEY PLANNING AREA)**

**SITE PLAN /
BUILDING HEIGHT PLAN**

- LEGEND**
-  Boundary for Streetblock Plan
 -  Line of Road Reserve
 -  Maximum Building Height 15 Storeys
 -  Lot Nos.
 -  House Nos.












DRWG NO : RV/2008/005
DATE : 12 SEP 2008
DIVISION : C & UD




**URA / CUD PLAN
RELEASE 4/2008E**

**STREETBLOCK PLAN FOR
HOUSE NOS. 65, 69 & 70
MOHAMED SULTAN ROAD,
20, 22, 38 & 50 MARTIN ROAD, 11
ARNASALAM CHETTY ROAD AND
9 MUTHURAMAN CHETTY ROAD
(RIVER VALLEY PLANNING AREA)**

URBAN DESIGN PLAN

- LEGEND**
-  Line of Road Reserve
 -  Rear and Side building setbacks to comply with the prevailing Development Control Guidelines (unless otherwise indicated)
 -  Development to be built up to the Line of Road Reserve at 1st Storey.
 -  Development is to have a 1-storey minimum party wall to complete the building edge, up to a maximum height to match the height of the existing party wall of the adjacent development with set back to comply with the prevailing Development Control Guidelines at upper levels
 -  Development to be built up to the Line of Road Reserve or set back to comply with the prevailing Development Control Guidelines with no Covered Walkway
 -  Minimum 3.6m Wide and 3.0m clear Covered Walkway
 -  Minimum 3.0m Wide and 2.4m clear Covered Walkway
 -  Lot Nos.
 -  House Nos.

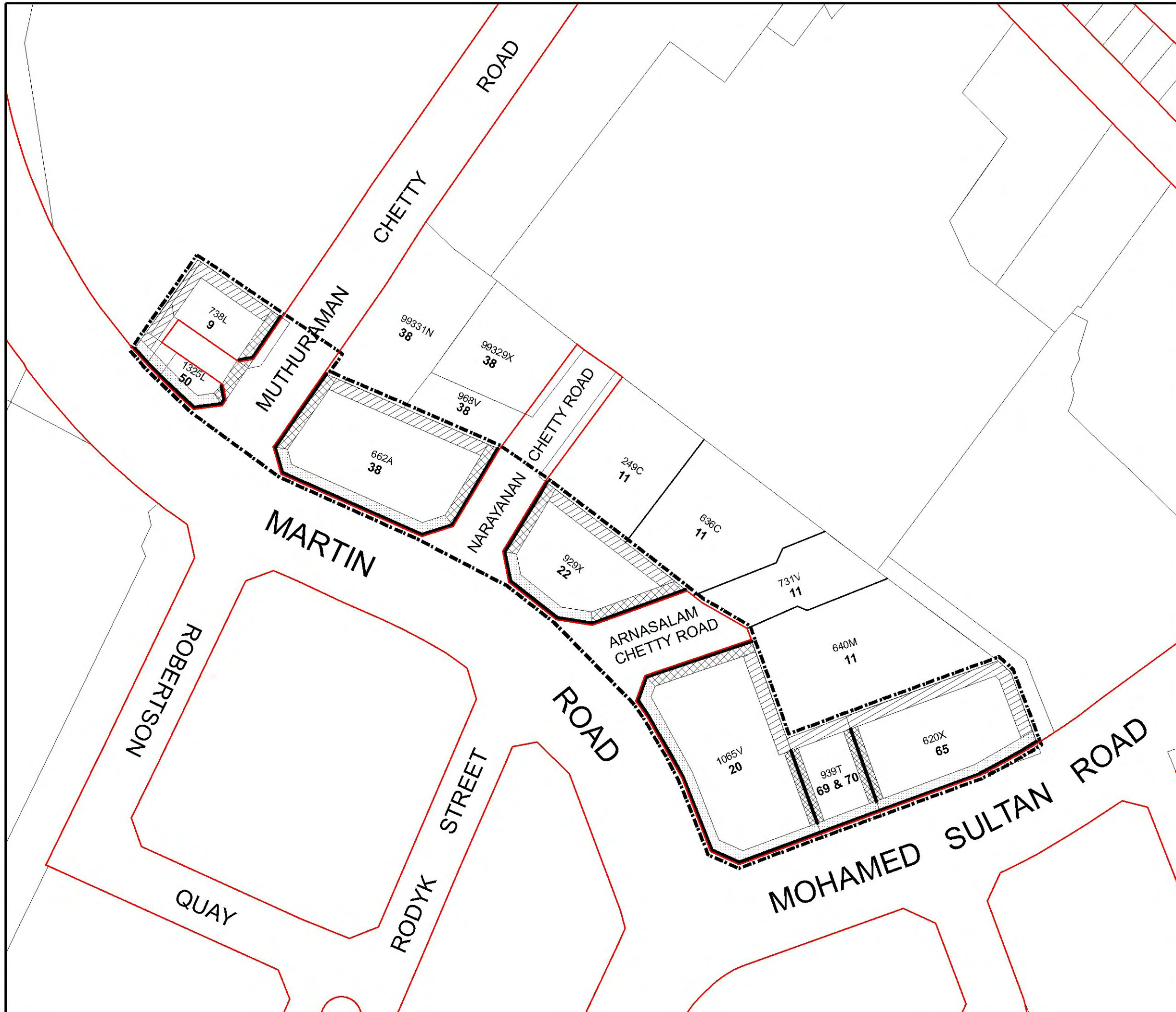
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DRWG NO : RV/2008/006

DATE : OCT 2008

DIVISION : C & UD












**URA / CUD PLAN
RELEASE 4/2008E**

**STREETBLOCK PLAN FOR
HOUSE NOS. 65, 69 & 70
MOHAMED SULTAN ROAD,
20, 22, 38 & 50 MARTIN ROAD, 11
ARNASALAM CHETTY ROAD AND
9 MUTHURAMAN CHETTY ROAD
(RIVER VALLEY PLANNING AREA)**

**URBAN DESIGN PLAN
- FOR RESIDENTIAL USE
FOR HOUSE NOS. 65, 69 & 70
MOHAMED SULTAN ROAD,
20, 22, 38 & 50 MARTIN ROAD AND
9 MUTHURAMAN CHETTY ROAD**

LEGEND

-  Boundary for Urban Design Guidelines
-  Line of Road Reserve
-  Rear and Side building setbacks to comply with prevailing Development Control Guidelines
-  Development to be built up to the Line of Road Reserve at 1st storey or set back to comply with prevailing Development Control Guidelines
-  Side building setbacks to comply with Development Control Guidelines except where adjacent developments have a Party Wall, development is to have a 1-Storey minimum party wall to complete the building edge, up to a maximum height to match the height of the existing party wall of the adjacent development
-  Minimum 3.6m Wide and 3.0m clear Covered Walkway or Linkway where developments are set back from the Line of Road Reserve
-  Minimum 3.0m Wide and 2.4m clear Covered Walkway or Linkway where developments are set back from the Line of Road Reserve
-  Lot Nos.
-  House Nos.

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DATE : 11 NOV 2008

DIVISION : C & UD

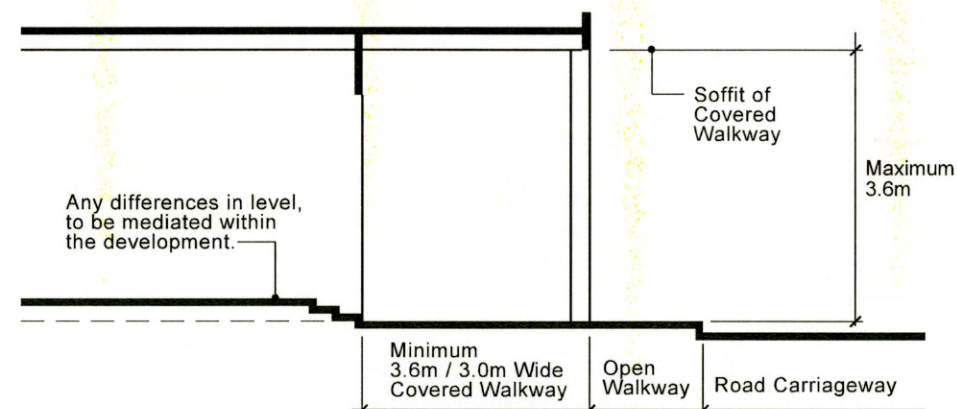


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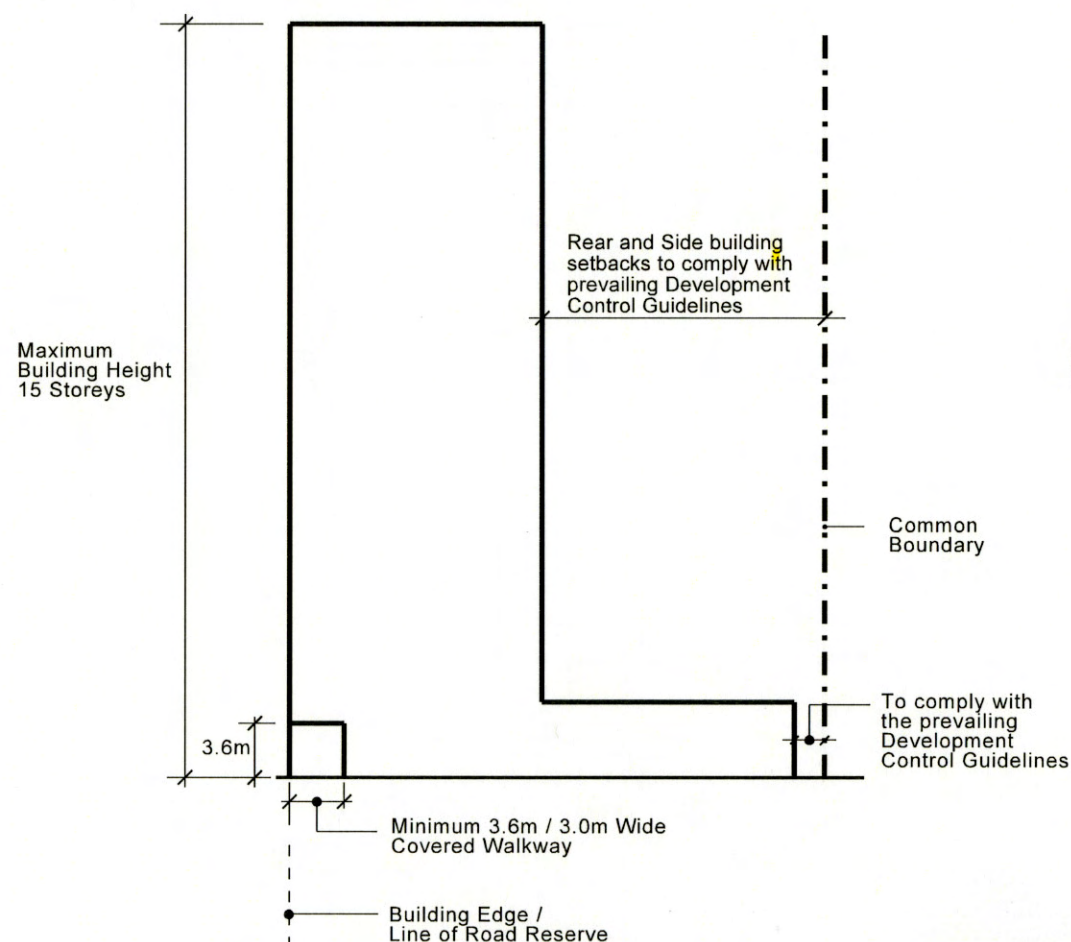
**URA/ CUD PLAN
RELEASE 4 / 2008E**

**STREETBLOCK PLAN FOR
HOUSE NOS. 65, 69 & 70
MOHAMED SULTAN ROAD,
20, 22, 38 & 50 MARTIN ROAD , 11
ARNASALAM CHETTY ROAD AND
9 MUTHURAMAN CHETTY ROAD
(RIVER VALLEY PLANNING AREA)**

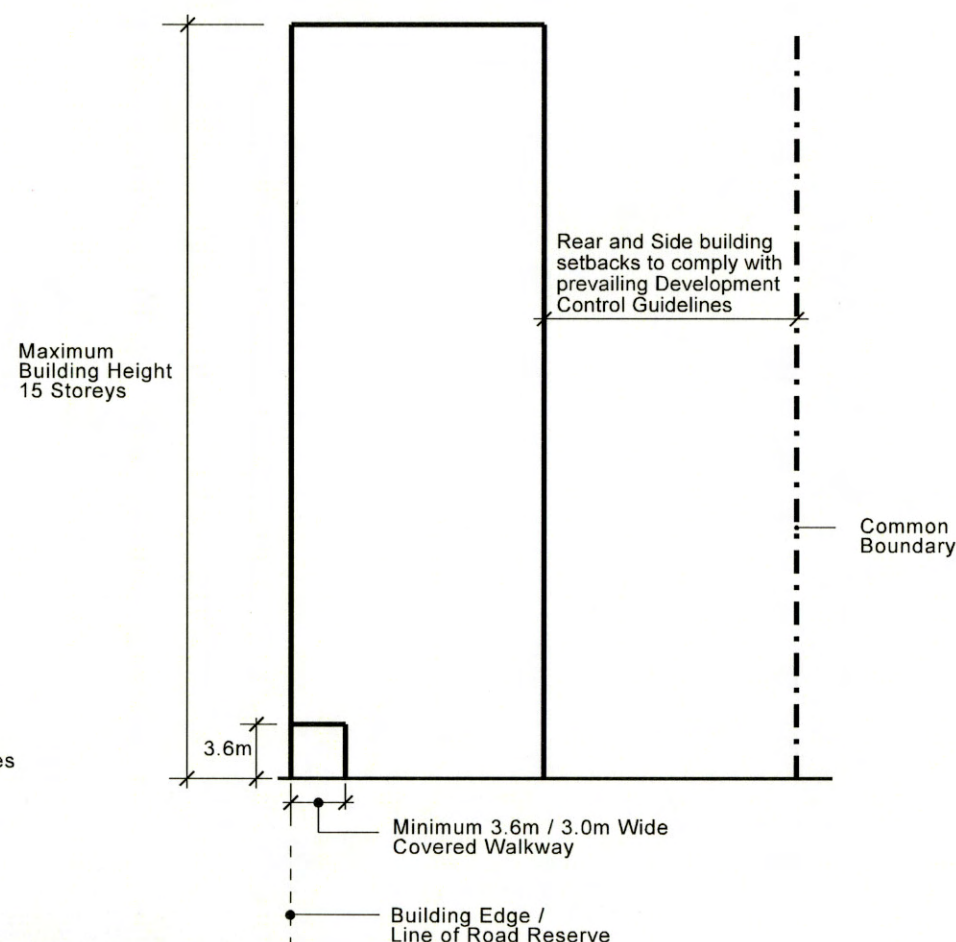
**URBAN DESIGN PLAN
- TYPICAL SECTION**



COVERED WALKWAY DETAILS



**TYPICAL SECTION FOR
COMMERCIAL OR RESIDENTIAL
WITH 1ST STOREY COMMERCIAL USE**



**TYPICAL SECTION FOR
RESIDENTIAL USE**



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DATE : 17 OCT 2008

DIVISION : C & UD



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