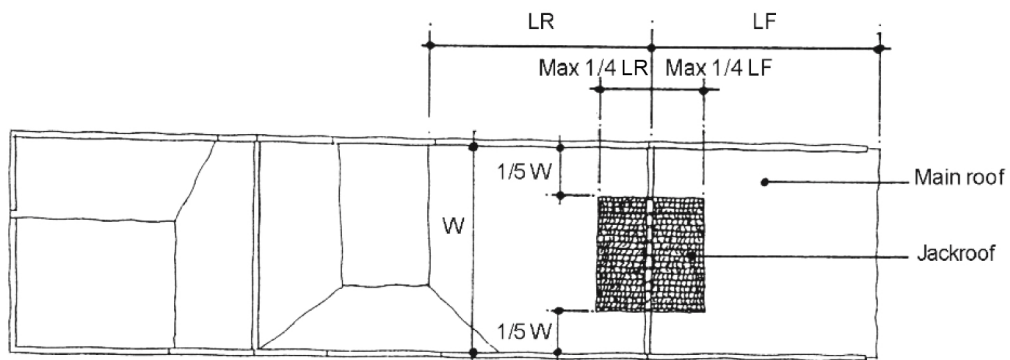
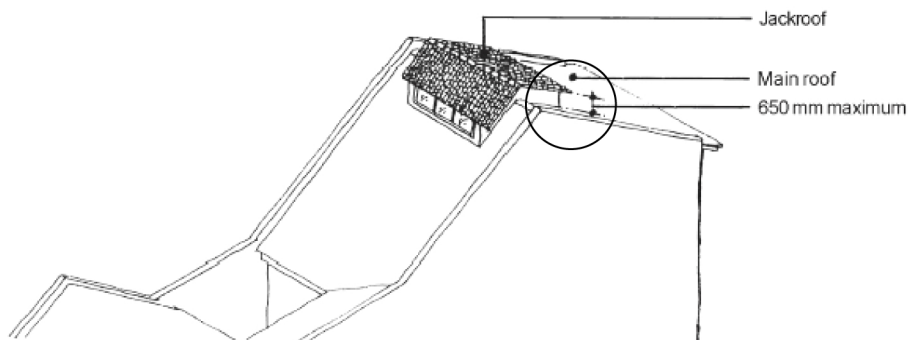


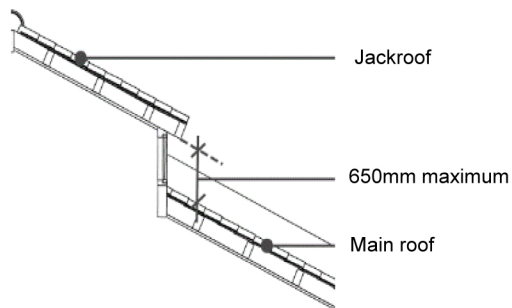
Figure 1 : Jackroof



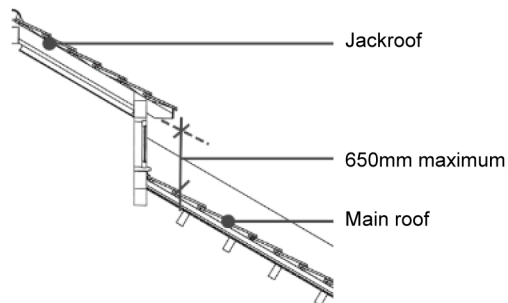
ROOF PLAN



ISOMETRIC VIEW



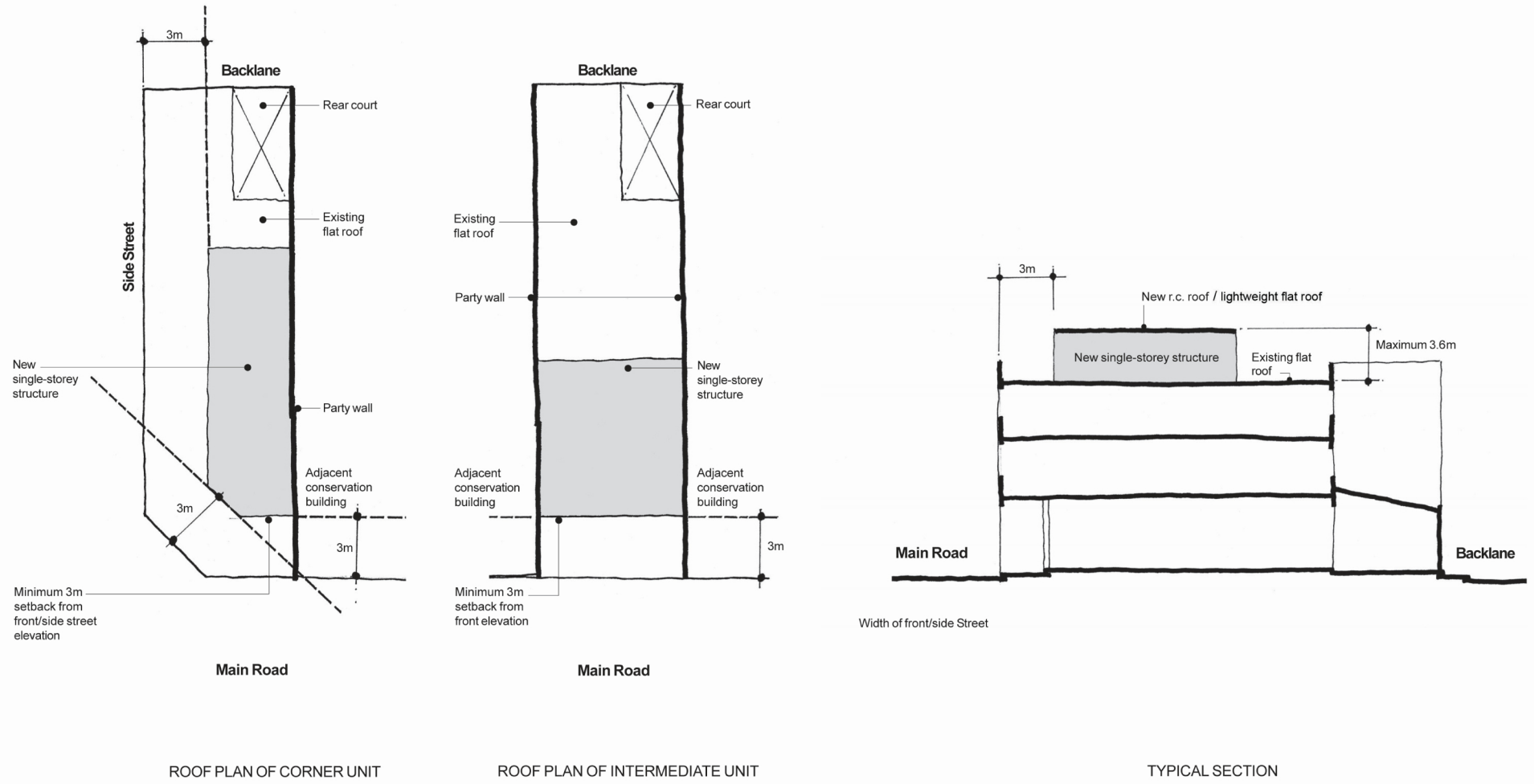
Jackroof with v-profile roof tiles



Jackroof with flat roof tiles

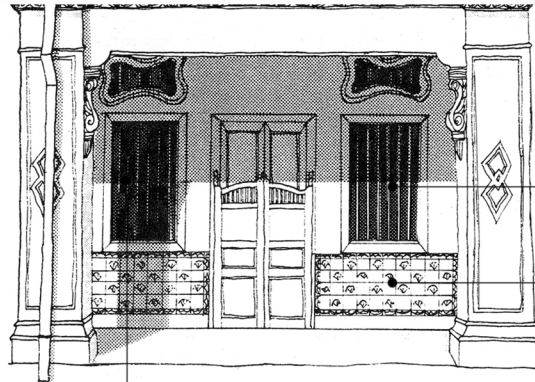
ALLOWABLE HEIGHT OF JACKROOF

Figure 2 : Allowable Structures on Existing Flat Roofs



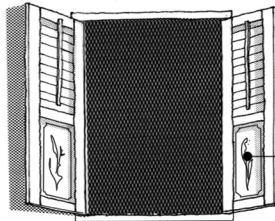
**Figure 3: Residential Front
(for conserved building of non-residential use only)**

Residential Front with ornamental features



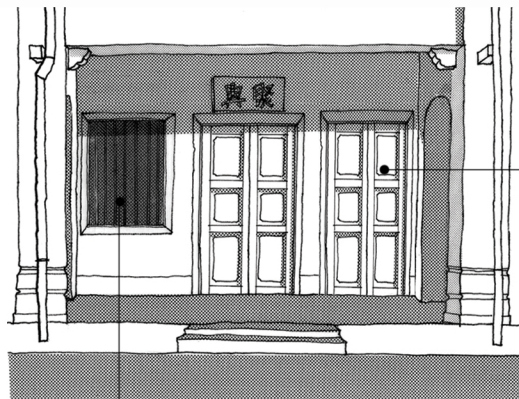
Conversion of window to door is not allowed

Ornamental features such as dado tiles to be retained

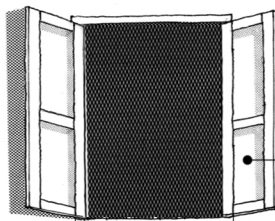


Original infill panels with carved decorations to be retained

Residential Front without ornamental features



If required, new door is to match the design and material of the original door



Original plain infill panel can be replaced with clear glass

Figure 4 : Secondary Windows

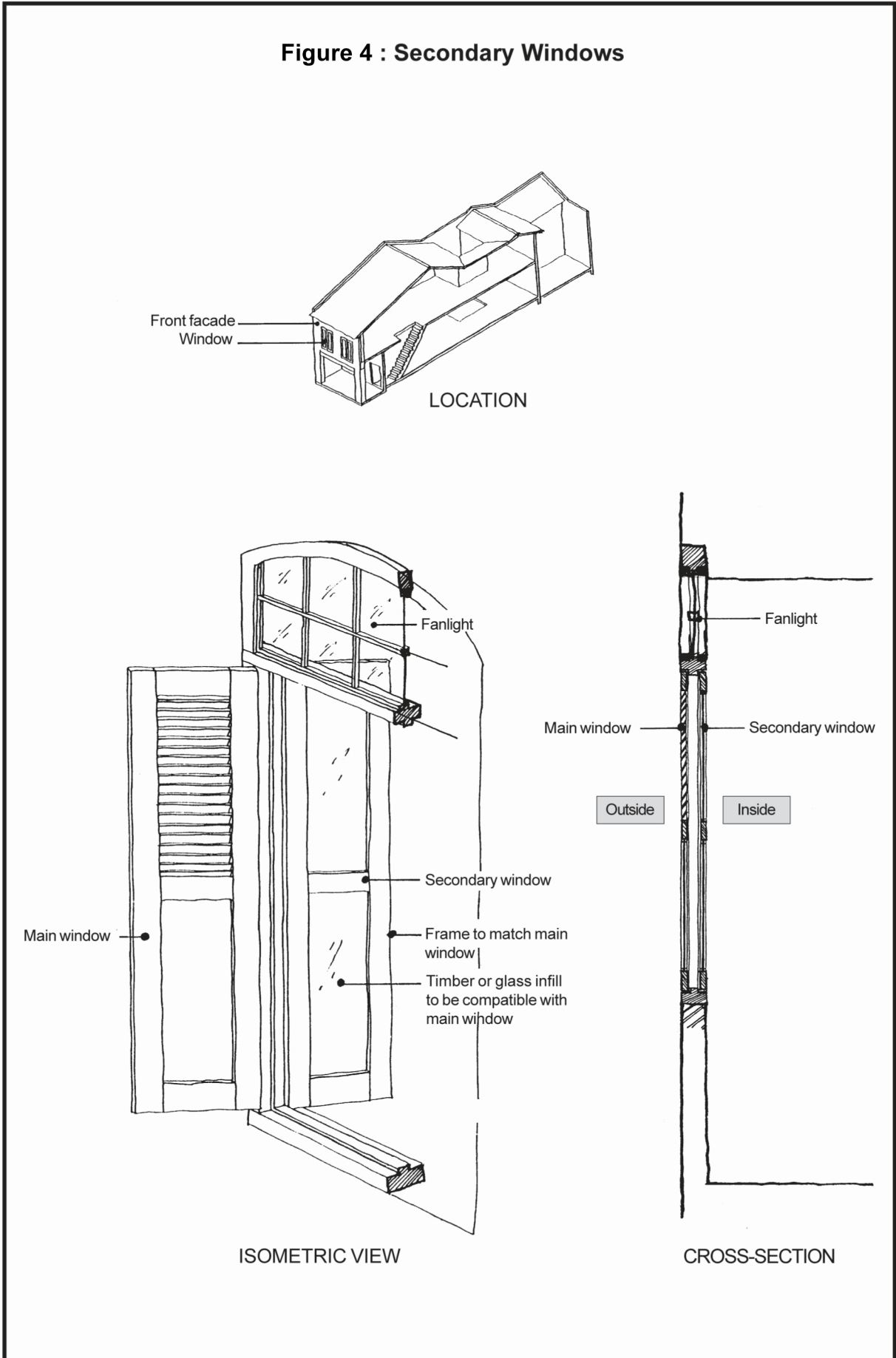
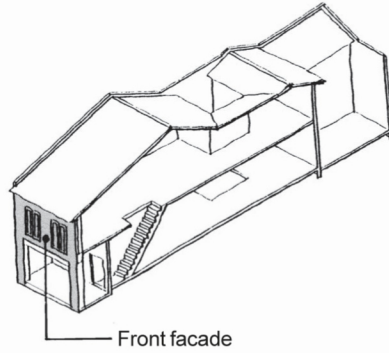


Figure 5 : Canopy



LOCATION

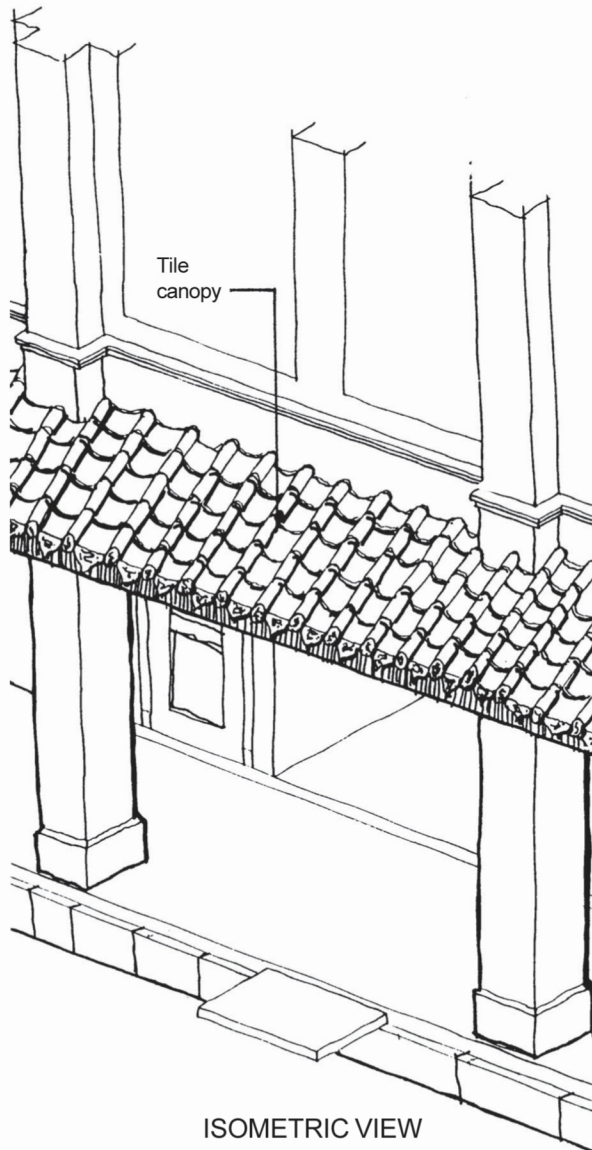
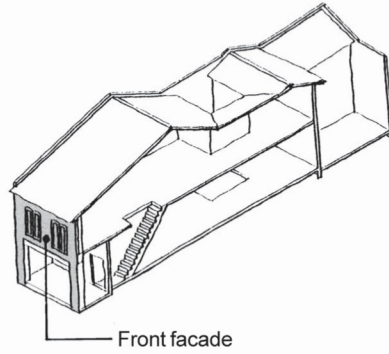


Figure 6 : Retractable Awnings



LOCATION

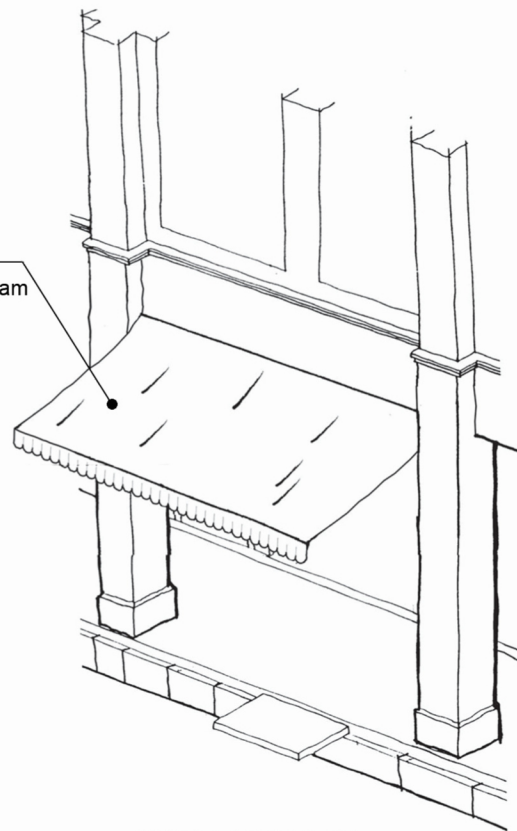
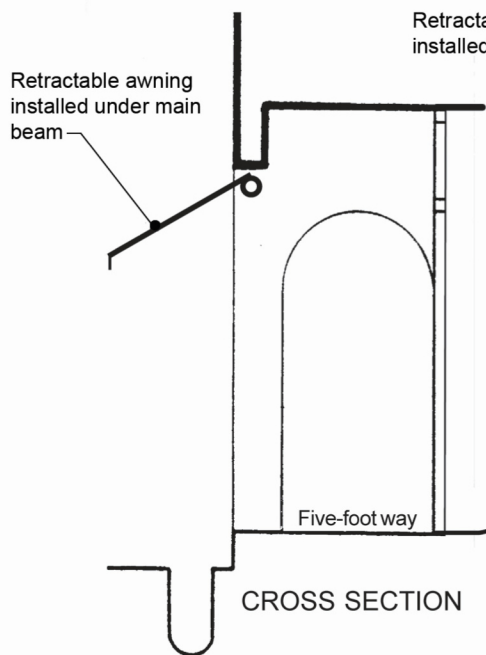
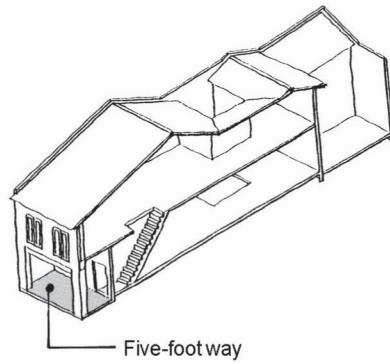
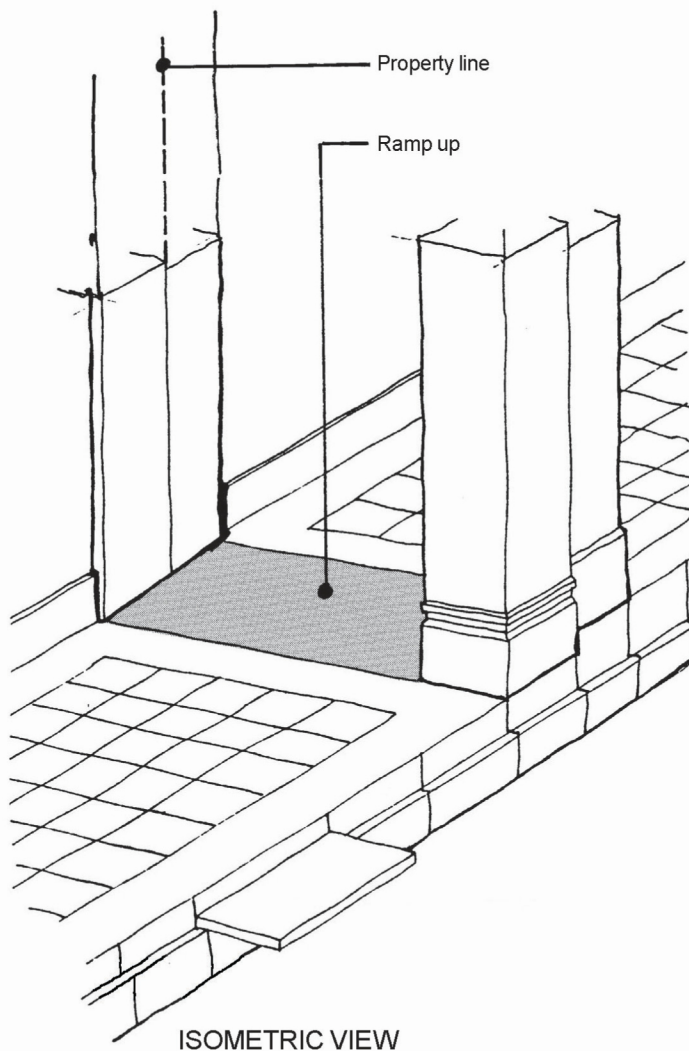


Figure 7 : Five-Foot Way Floors



LOCATION



ISOMETRIC VIEW

Figure 8 : End Gable Wall

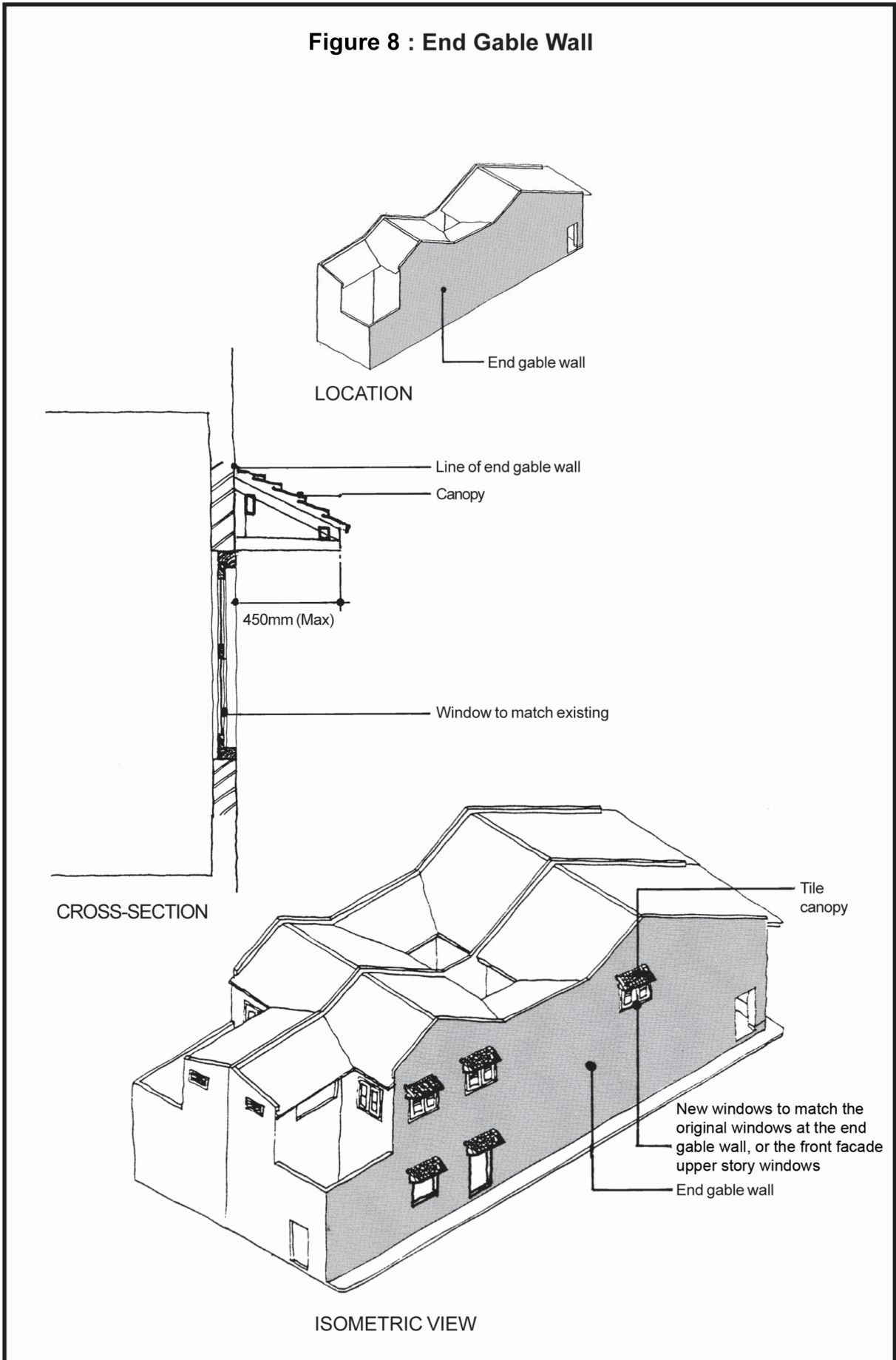
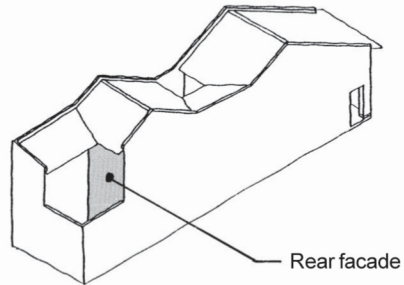
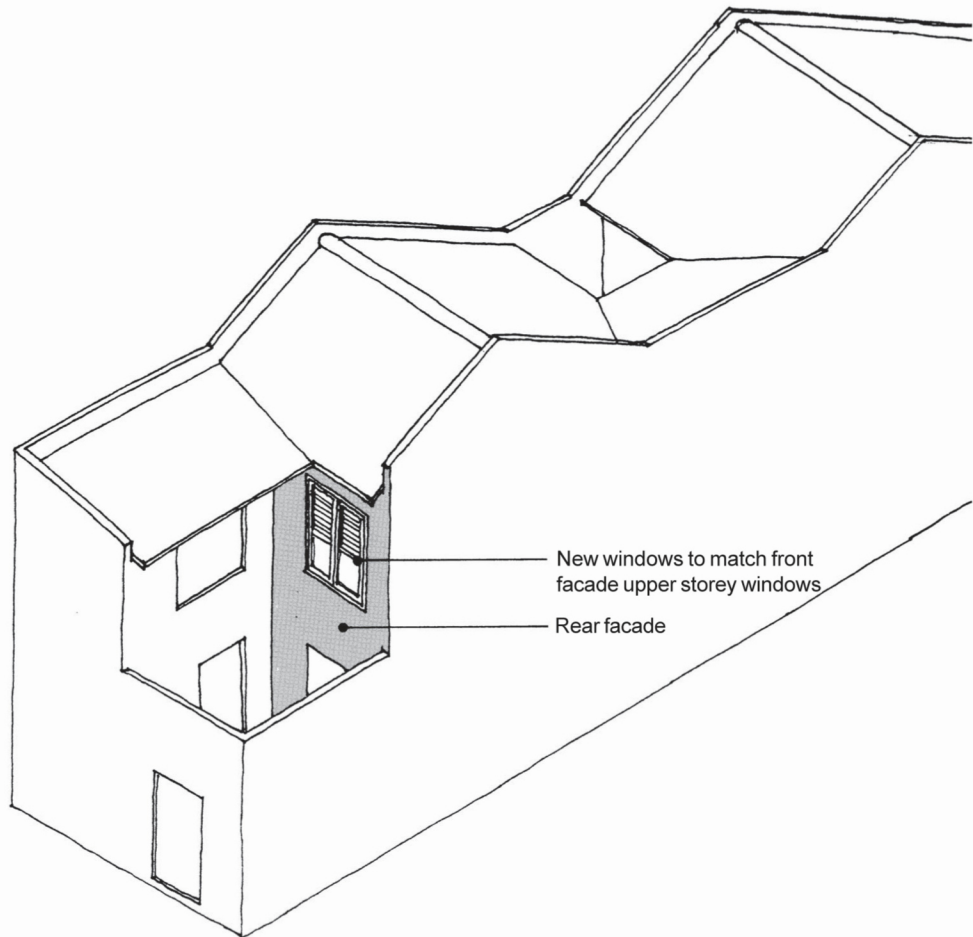


Figure 9 : Rear Facade of Main Building

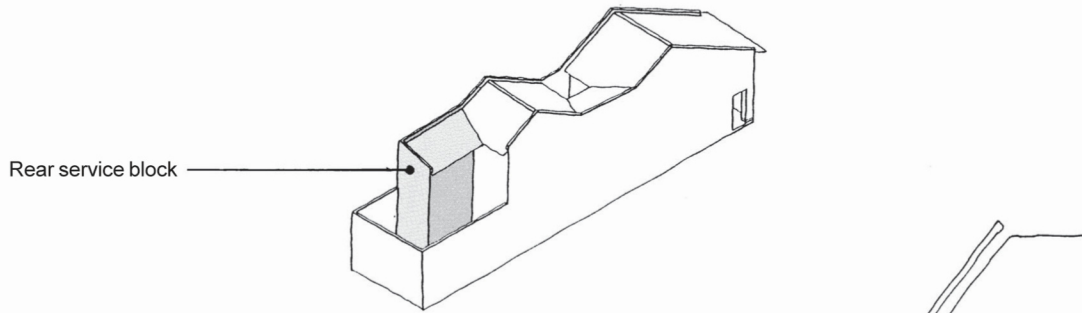


LOCATION

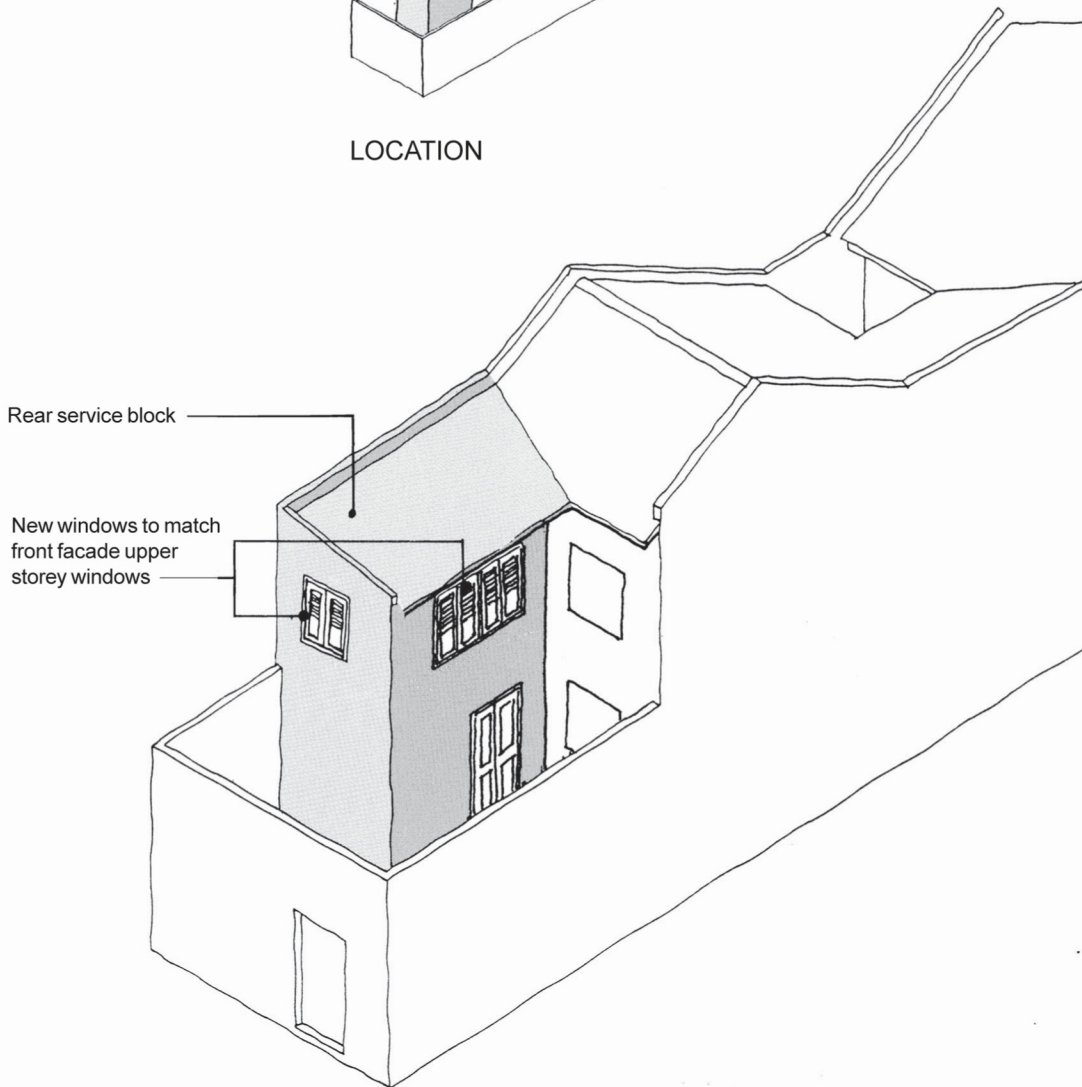


ISOMETRIC VIEW

Figure 10 : Rear Service Block

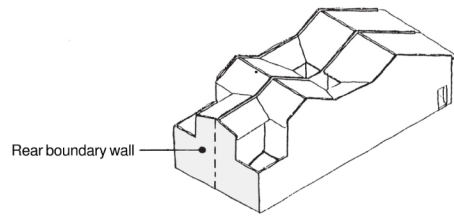


LOCATION



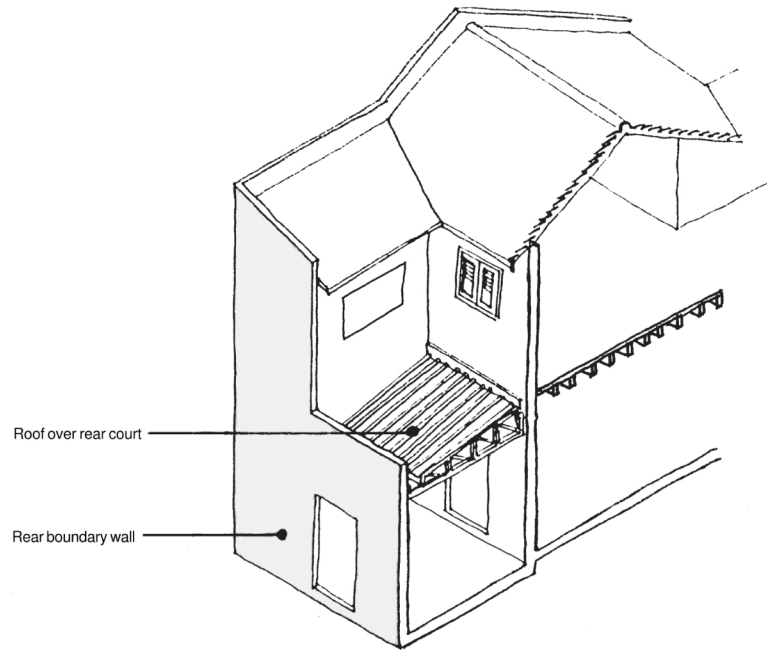
ISOMETRIC VIEW

Figure 11 : Rear Court and Rear Boundary Wall



Rear boundary wall

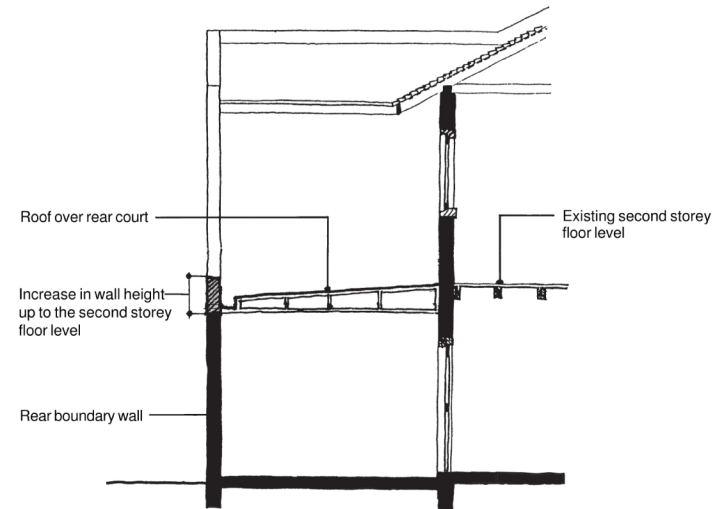
LOCATION



Roof over rear court

Rear boundary wall

ISOMETRIC VIEW



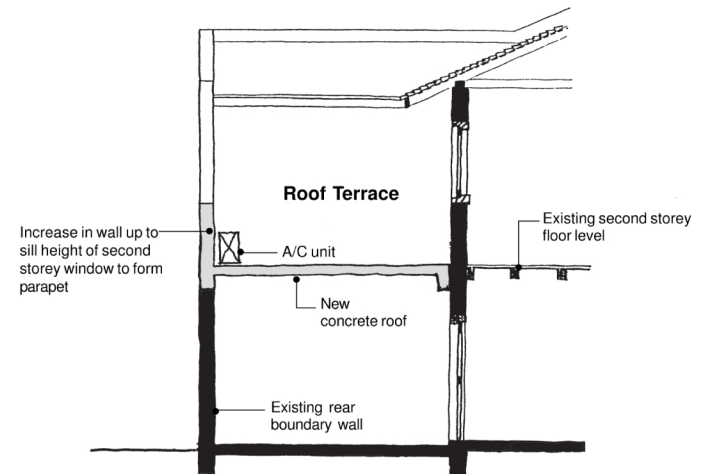
Roof over rear court

Increase in wall height up to the second storey floor level

Rear boundary wall

Existing second storey floor level

CROSS-SECTION



Increase in wall up to sill height of second storey window to form parapet

Roof Terrace

A/C unit

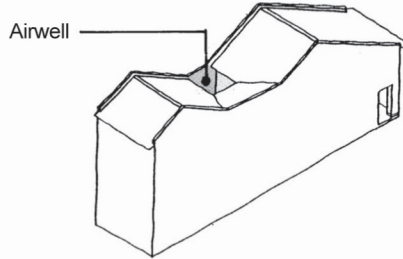
New concrete roof

Existing rear boundary wall

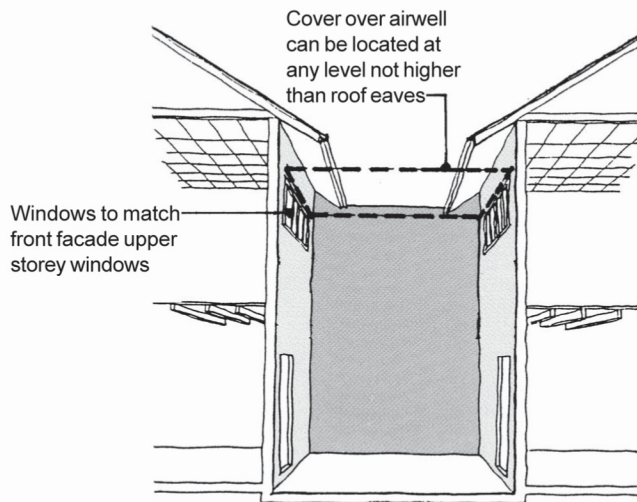
Existing second storey floor level

CROSS-SECTION OF FLAT CONCRETE ROOF

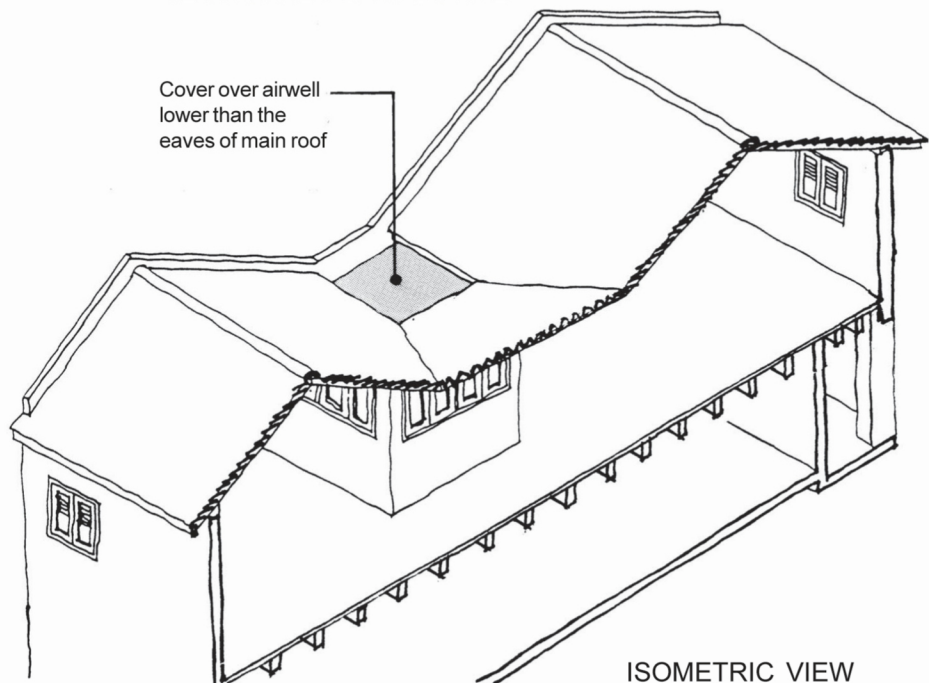
Figure 12 : Airwell



LOCATION

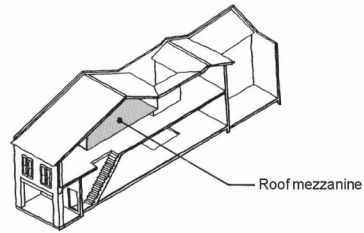


SECTIONAL PERSPECTIVE

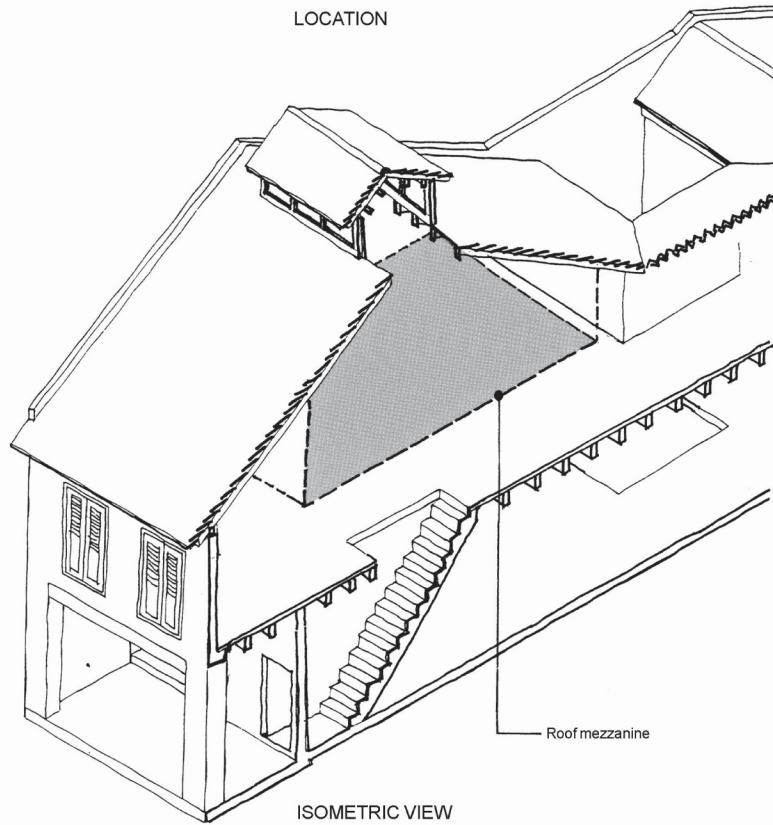


ISOMETRIC VIEW

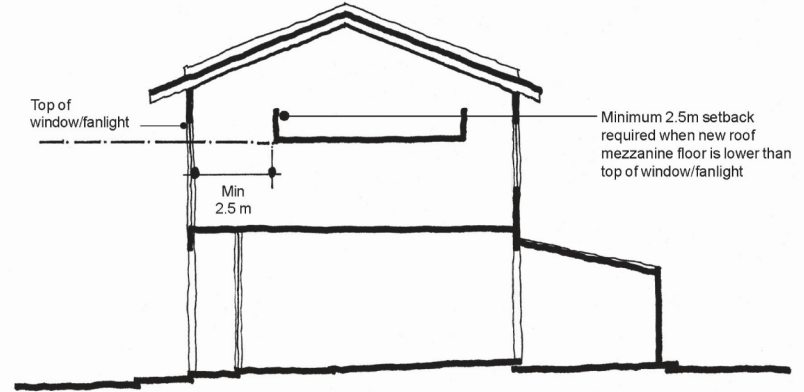
Figure 13: Roof Mezzanine



LOCATION

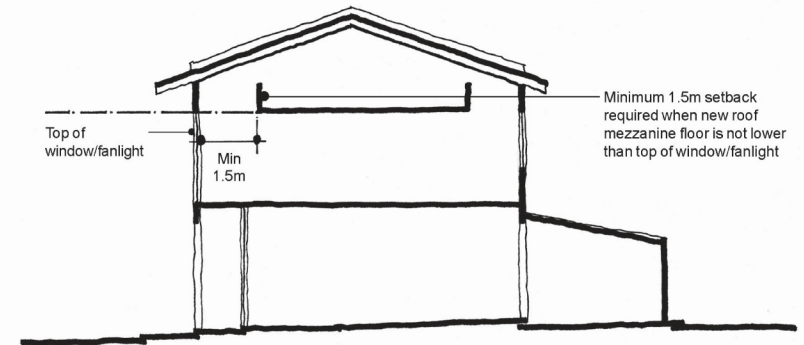


ISOMETRIC VIEW



CROSS-SECTION

Note : The heights of both the uppermost floor and new roof mezzanine shall comply with relevant technical department's requirements.



CROSS-SECTION

Figure 14: Flue

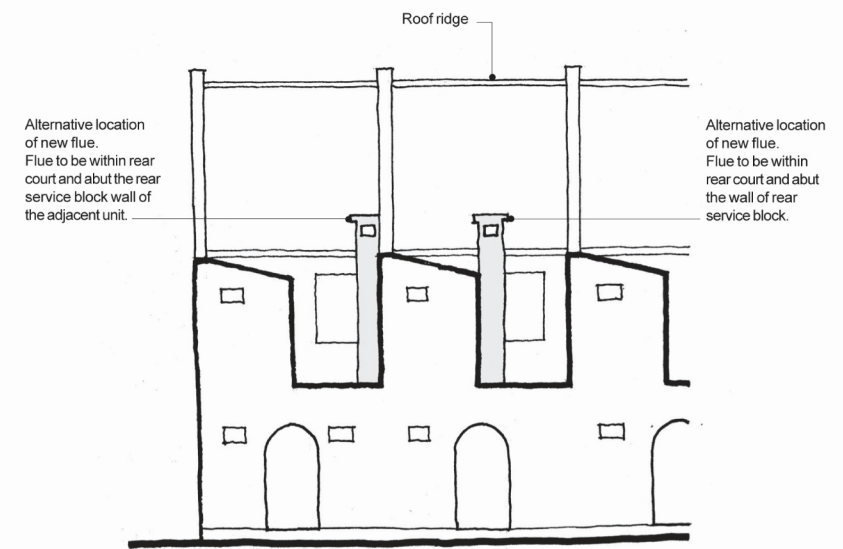
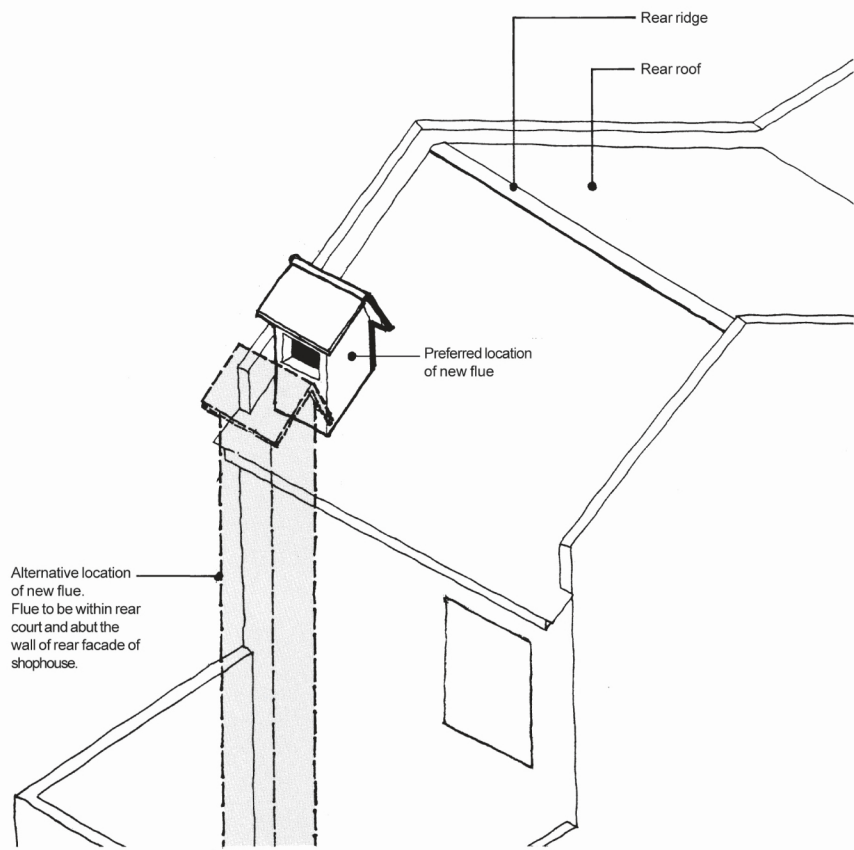
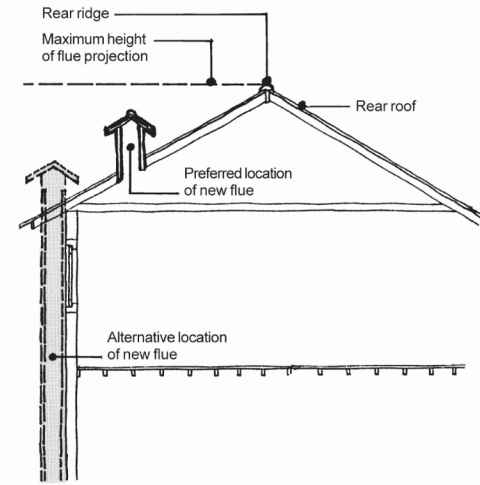
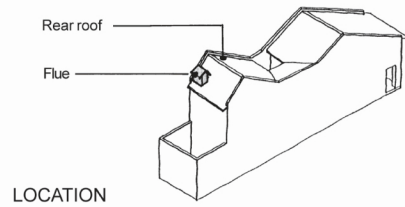
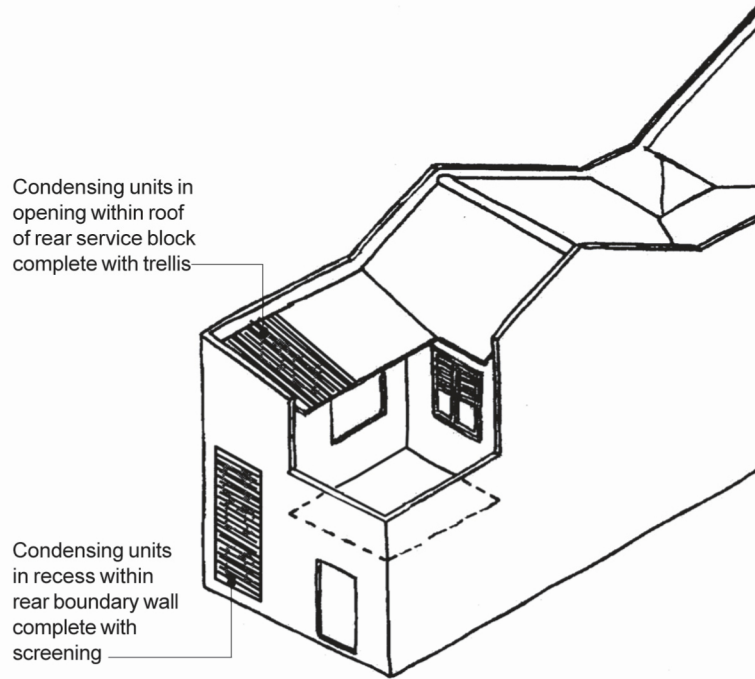
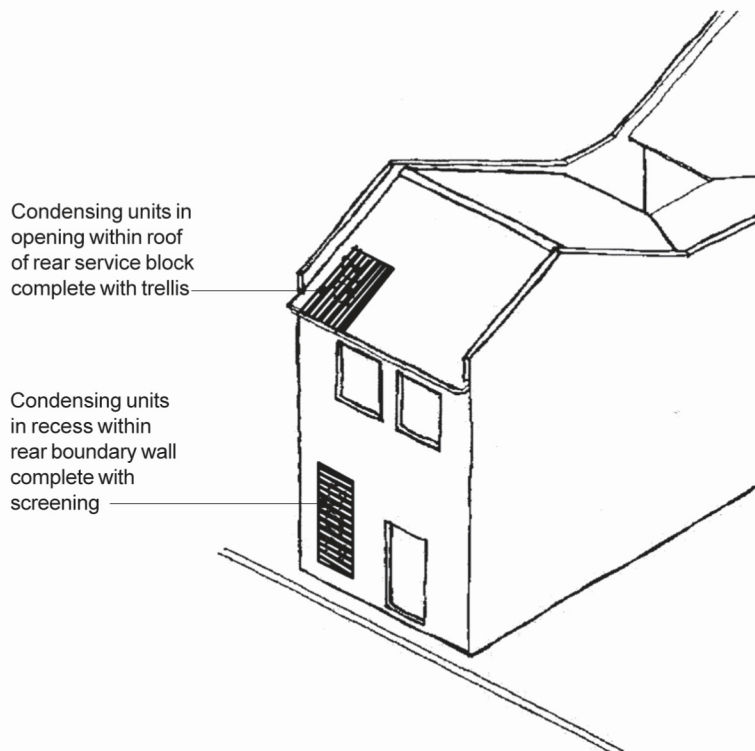


Figure 15 : Condensing Units Integrated within Building Envelope



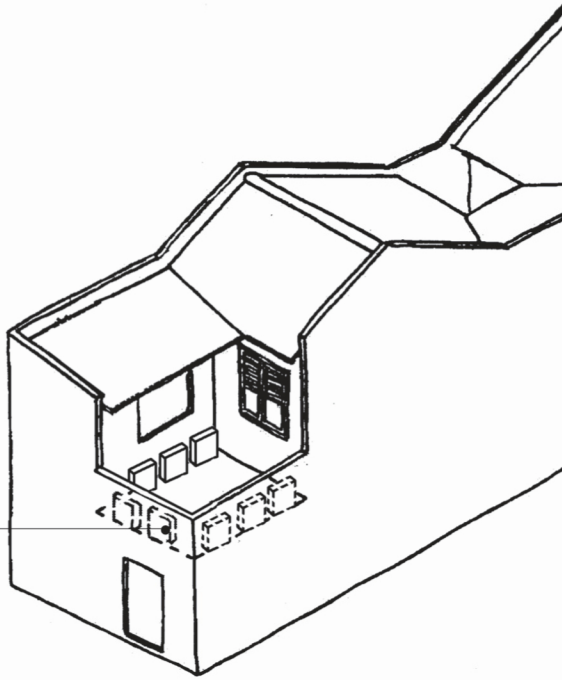
SHOPHOUSES WITH REAR COURT



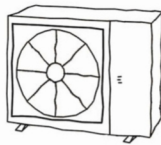
SHOPHOUSES WITHOUT REAR COURT

Figure 15 : Condensing Units Placed at Rear Parapet and Walls

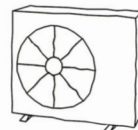
Condensing units neatly or compactly placed at the rear. Units are to be screened unless they are small and not visible from street level (See examples below)



SHOPHOUSES WITH REAR COURT

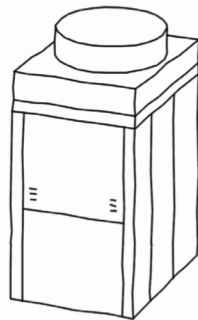


Single unit

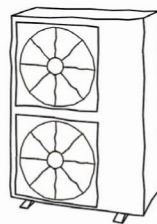


Single unit

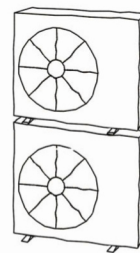
SCREENING NOT REQUIRED FOR THE ABOVE EXAMPLES OF CONDENSING UNITS



VRV



Dual unit



Single unit - stacked

SCREENING REQUIRED FOR THE ABOVE EXAMPLES OF CONDENSING UNITS

Figure 17: Solar Panels on Flat Roof

