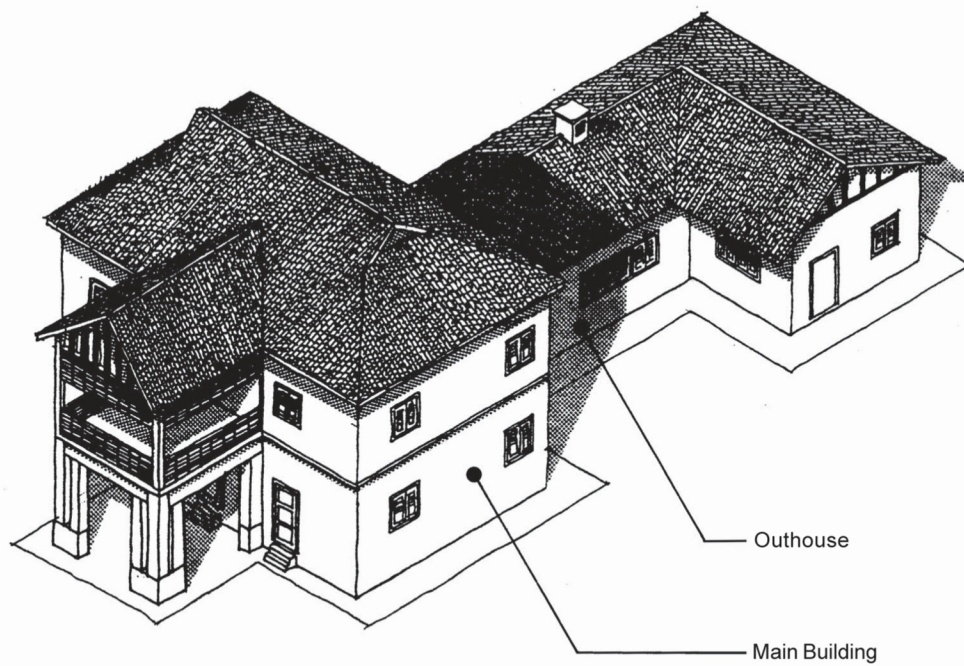
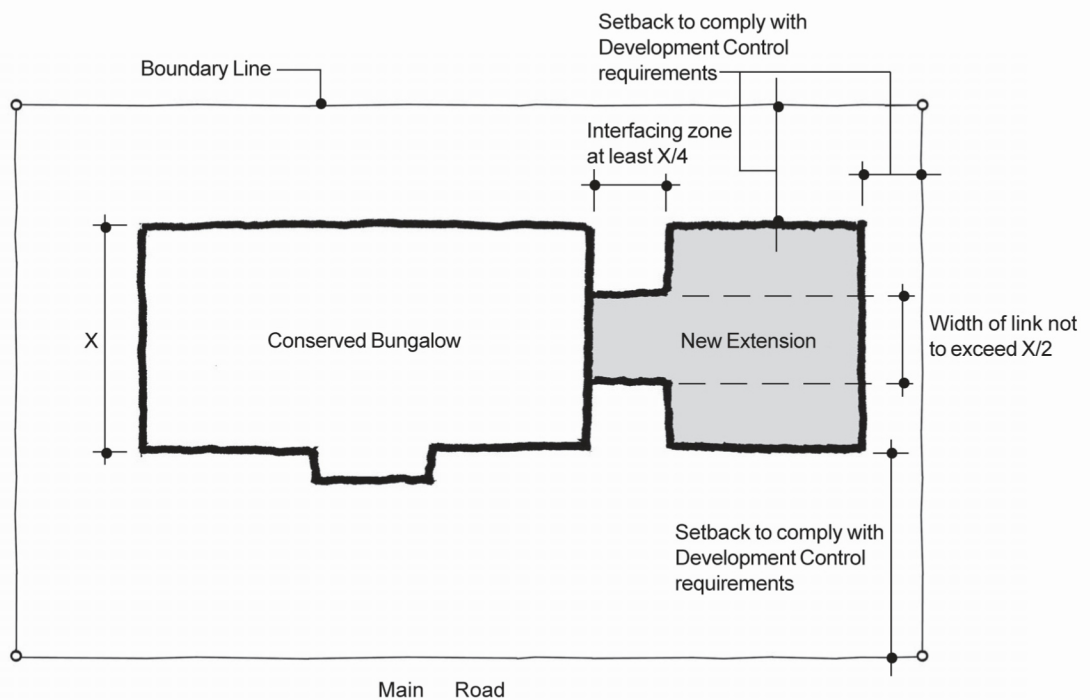
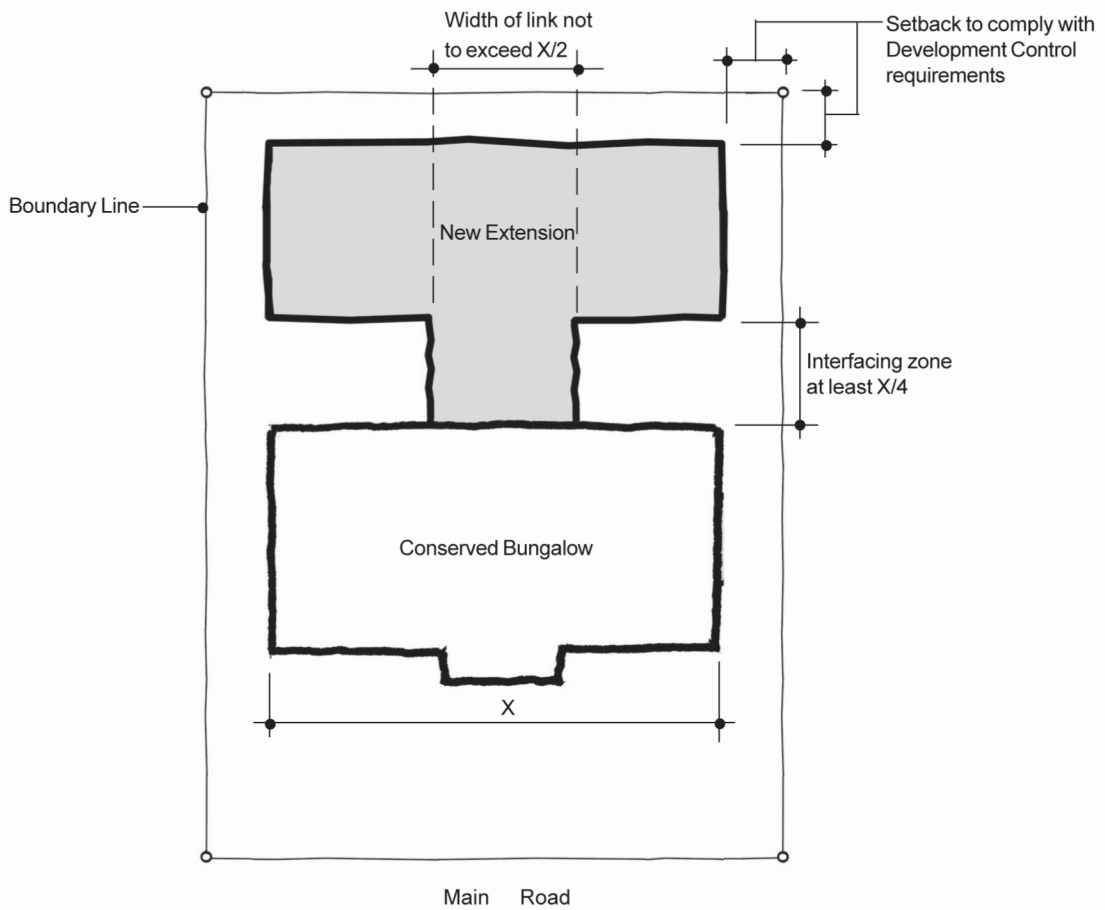


**Figure 1 : Extent of Building to be Conserved**

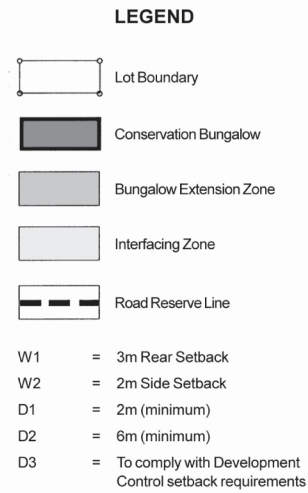
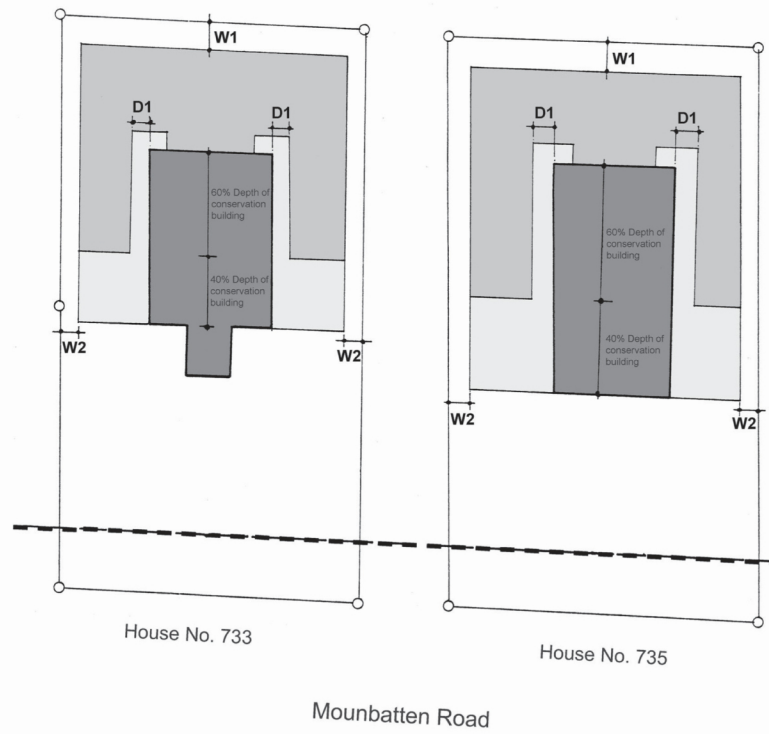


The owner can choose to conserve the entire building including the outhouse, or just the main building. New extensions are permitted.

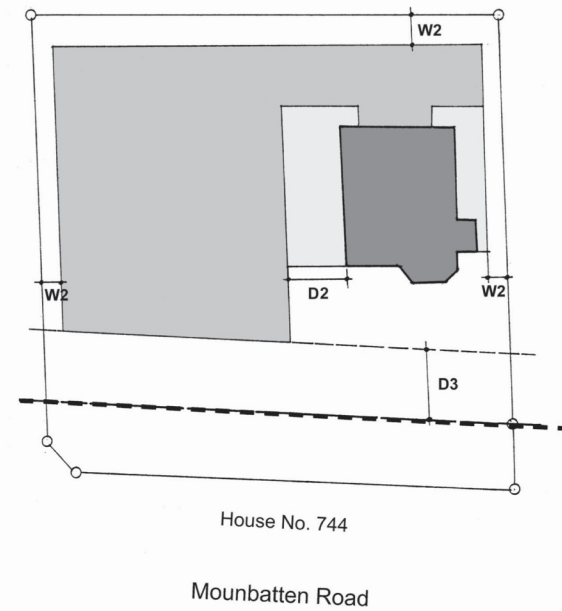
**Figure 2 : New Extension to Conservation Bungalows**



**Figure 3(a) : Schematic Diagrams of New Extension**

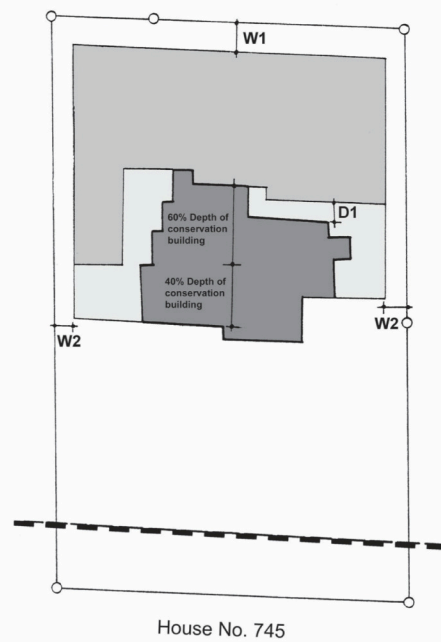


**NOTE**  
Drawing is indicative only, dimensions are subject to verification



HOUSE NOS. 733, 735 & 744 MOUNTBATTEN ROAD

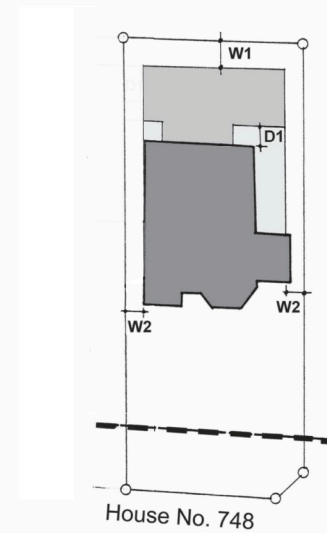
**Figure 3(b) : Schematic Diagrams of New Extension**



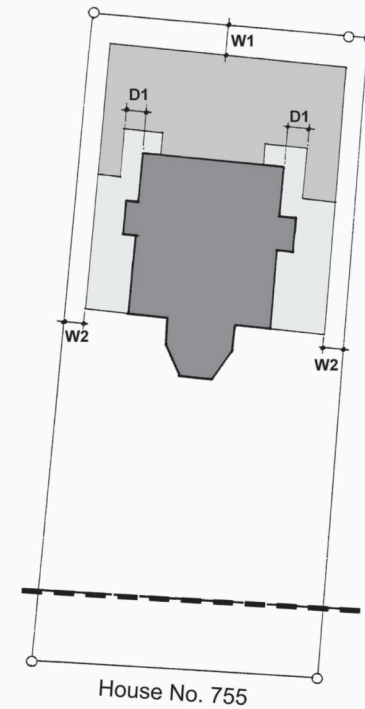
Mountbatten Road

- LEGEND**
- Lot Boundary
  - Conservation Bungalow
  - Bungalow Extension Zone
  - Interfacing Zone
  - Road Reserve Line
- W1 = 3m Rear Setback  
W2 = 2m Side Setback  
D1 = 2m (minimum)

**NOTE**  
Drawing is indicative only, dimensions are subject to verification

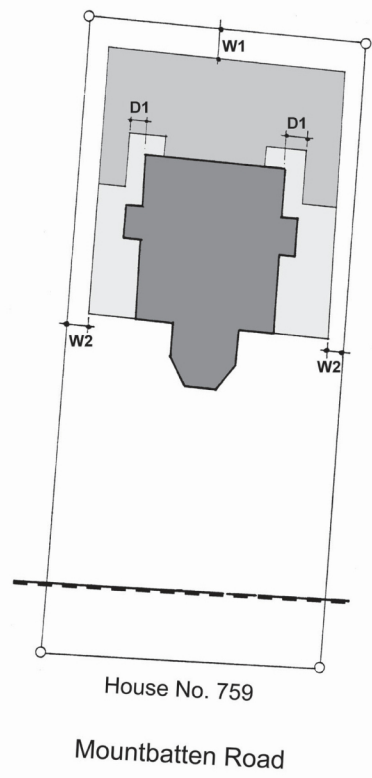


Mountbatten Road



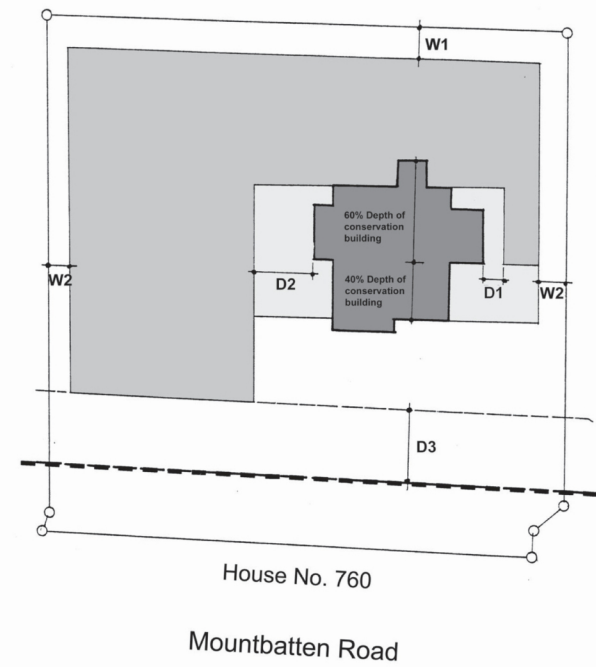
HOUSE NOS. 745, 748 & 755 MOUNTBATTEN ROAD

**Figure 3(c) : Schematic Diagrams of New Extension**



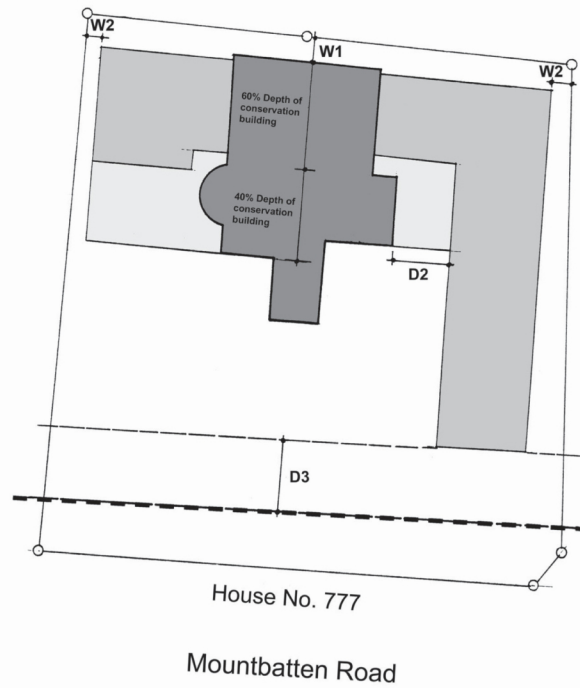
- LEGEND**
- Lot Boundary
  - Conservation Bungalow
  - Bungalow Extension Zone
  - Interfacing Zone
  - Road Reserve Line
- W1 = 3m Rear Setback  
W2 = 2m Side Setback  
D1 = 2m (minimum)  
D2 = 6m (minimum)  
D3 = To comply with Development Control setback requirements

**NOTE**  
Drawing is indicative only, dimensions are subject to verification



HOUSE NOS. 759 & 760 MOUNTBATTEN ROAD

**Figure 3(d) : Schematic Diagrams of New Extension**



- LEGEND**
- Lot Boundary
  - Conservation Bungalow
  - Bungalow Extension Zone
  - Interfacing Zone
  - Road Reserve Line
- W1 = 3m Rear Setback  
W2 = 2m Side Setback  
D1 = 2m (minimum)  
D2 = 6m (minimum)  
D3 = To comply with Development Control setback requirements

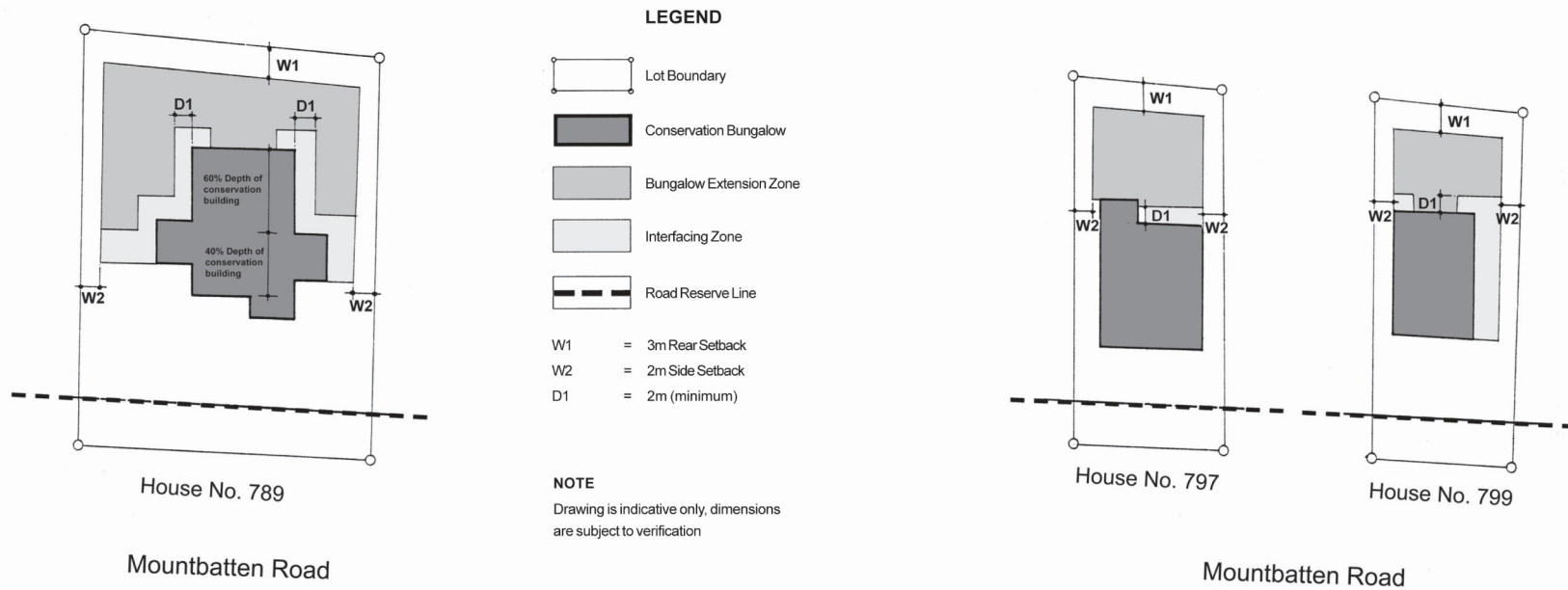
**NOTE**

Drawing is indicative only, dimensions are subject to verification



HOUSE NOS. 777, 779 & 781 MOUNTBATTEN ROAD

**Figure 3(e) : Schematic Diagrams of New Extension**



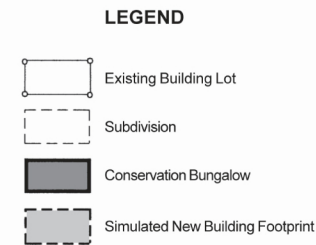
HOUSE NOS. 789, 797 & 799 MOUNTBATTEN ROAD

**Figure 4 : Good Class Bungalow Area**



**NOTE : SITUATION ACCEPTABLE**

This situation shows 1 sub-standard plot size (not less than 1000m<sup>2</sup>), and a total land area together with the conservation bungalow plot that is not less than 2800m<sup>2</sup>.



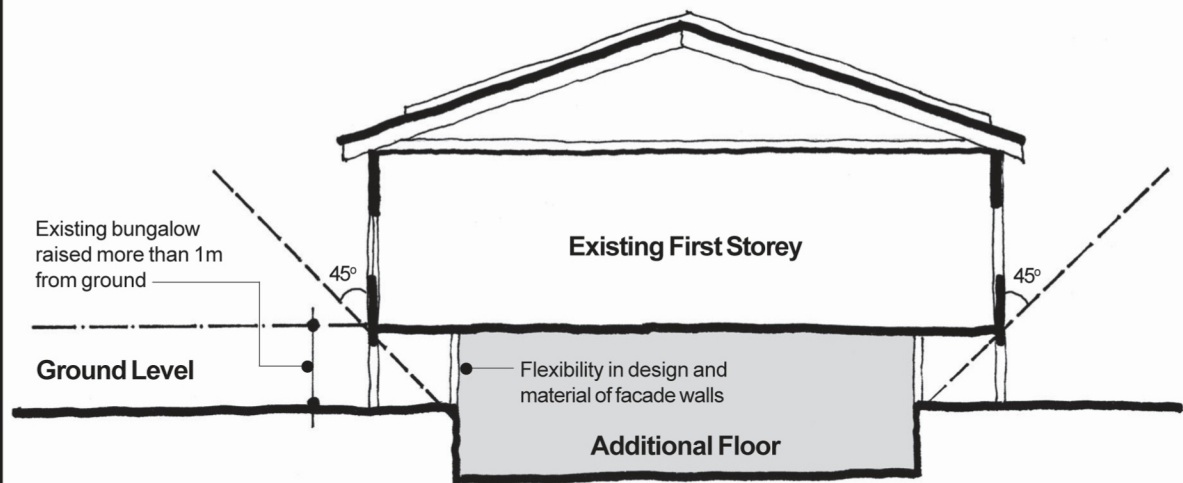
**NOTE : SITUATION NOT ACCEPTABLE**

This situation shows 1 conservation bungalow plot larger than 1400m<sup>2</sup> with 2 proposed deficient plots. This is not in order as only one residual plot with deficient plot size is allowed for each conservation bungalow.

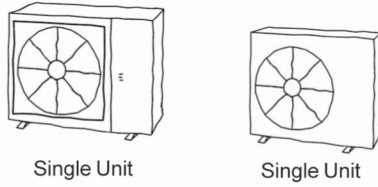
**SUBDIVISION OF CONSERVATION BUNGALOW LOTS**



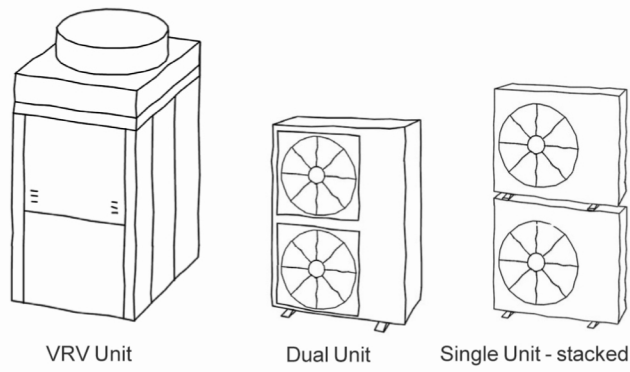
**Figure 5 : Additional Floor below Conservation Bungalows**



**Figure 6 : Air Conditioning System**



SCREENING NOT REQUIRED FOR SMALL CONDENSING UNITS  
IF THEY ARE NOT VISIBLE FROM THE STREET LEVEL



SCREENING REQUIRED FOR THE ABOVE EXAMPLES OF  
CONDENSING UNITS