

AMENDMENT NO. 41/18 TO MASTER PLAN

(Date Approved: 21 September 2018)

3.7 SITE FOR MAXIMUM PERMISSIBLE
PLOT RATIO OF 3.70 (GROSS)

ROAD ZONE

WRITTEN STATEMENT

This amendment involves the (i) assigning the plot ratio for the site, shown verged in red on this plan from Business Park Zone with plot ratio "Subject to detailed planning" to Business Park Zone at a maximum permissible plot ratio of 3.70 (gross); and (ii) rezoning of the site, shown coloured on this plan, from Business Park Zone with plot ratio "Subject to detailed planning" to Road Zone.

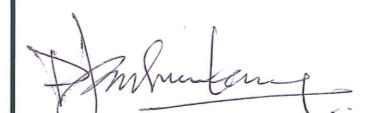
Note:

This Amendment Plan is to be read in conjunction with the Master Plan Written Statement.

The Plot Ratio indicated in this Amendment Plan only prescribes the maximum permissible intensity for the development of the land. The actual intensity to be permitted shall be determined by the Competent Authority and may be below the maximum permissible intensity.

The plot ratio indicated in this Amendment Plan shall not be used as basis for the calculation and payment of development charge.

CERTIFIED APPROVED AMENDMENT



PETER TAN GUAN LEONG
for Chief Planner
Urban Redevelopment Authority

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SCALE : 1:2,000

PLAN REF : DC/MPA/2018/0041

DATE : 21 SEPTEMBER 2018

GROUP : DEVELOPMENT CONTROL GROUP



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